

CHAPTER 4.0 Non-Residential Architectural Design Guidelines

Relatively speaking, not many sites are available for infill and new development in San Juan Bautista. However, what occurs in each of those locations is very important to both protecting and enhancing the character and image of San Juan Bautista. Every development opportunity is wholly unique, based upon its location within the community and its historical significance. Tools to properly guide the design of development are essential. This section provides general architectural design guidance for San Juan Bautista public buildings, and commercial and mixed-use projects, including some specific guidelines for the Third Street commercial area. Residential development is addressed in Chapter 5.0 although references are made to this chapter where appropriate.

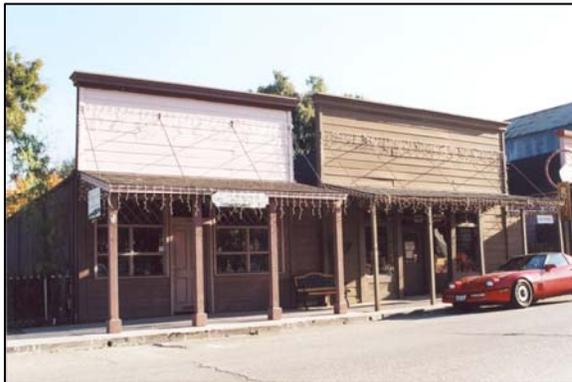
4.1 Which Style is Appropriate?

No single architectural style or design theme is required for San Juan Bautista. As input to the preparation of this design guidelines manual, a visual survey was held on April 4, 2000 wherein members of the community viewed over 100 images of buildings with varying architectural styles and scales and then voted for their preferences. The results showed a preference for small-scale buildings with a pedestrian orientation and with a focus on architectural details and landscaping. In terms of architectural style, the results revealed a strong desire to maintain the mix of vernacular building types present in San Juan Bautista.



Visual survey conducted with community members on April 4, 2000

As made clear in the architectural visual preference survey and as described in Chapter 3.0, various vernacular styles comfortably co-exist to create San Juan Bautista's visually attractive, historically significant, and pedestrian friendly environment. Choosing which architectural style, including contemporary styles, to use is a matter of choice keeping in mind the existing context and vocabulary of adjacent development, as well as the will of the community to maintain and strengthen its eclectic image and to avoid uninteresting and generic buildings. The following basic guidelines should be reviewed when using the



Similar architecture styles immediately adjacent to one another work well on Third Street

architectural styles:

- ❖ Avoid placing buildings of the exact same style immediately adjacent to one another unless the combination creates a particularly strong statement, such as that which is evident with Third Street false front architecture.
- ❖ Similarly, extremely sharp contrasts between architectural styles on adjacent parcels should also be avoided.



Monterey style buildings work well for larger developments, particularly mixed-use projects

- ❖ Consider the use of the building. For example, office and mixed-use buildings (residential on second floor) can appropriately use the Monterey style because of its opportunities to accommodate exterior circulation and balconies.
- ❖ Consider the size of the building. Where larger size buildings are appropriate in San Juan, they are more likely to be able to take advantage of the scale proportion options available with Mission/Mediterranean Revival, Monterey, and Carpenter Italianate influenced styles. On Third Street, for example, it may be expected that Monterey or Italianate styles are more appropriate than Mission for new commercial and infill developments on larger parcels.
- ❖ Bungalow, Cottage, and Queen Anne styles are generally desirable for commercial/mixed-use infill within converted residential areas within the Historic District.

4.2 Attention to Detail

It should be noted that while some of the architectural styles discussed in Chapter 3.0 are more commonly associated with residential structures, their adaptation to commercial and office uses should still respect the basic design principles associated with each style. The exclusion of important character-defining elements, or the lack of attention to detail is not an acceptable design response based solely on the premise that commercial buildings are more “utilitarian” than residential buildings and therefore do not require the same level of design detail. Fine, hand-crafted details are strongly encouraged. However, infill buildings should use care in material selection and correct architectural detailing so they do not look like cheap historic imitations. Infill structures should be sympathetic and compatible with the surrounding buildings in terms of mass, scale, height, façade rhythm, placement of doors and windows, color, and use of materials, without feeling that they have to precisely duplicate an architectural style from the past to be successful.

Panoramic views of the Third Street commercial core are provided at the end of this Chapter to assist in this design analysis for this distinctive area of San Juan Bautista.

4.3 Building Mass and Organization

Mass and scale are important considerations in San Juan Bautista because of the City’s “small town character”. The preservation and enhancement of this character should be a primary consideration of any development proposal. Projects that are out of scale with their surroundings are unacceptable.

Designing in Context Project proponents should demonstrate evidence in their designs that they have studied predominant scale and proportions of the area in which they are proposing to build. Elevation sketches, photographic montages, and other graphic studies shall be provided to assist the Planning Commission in making determinations.

Pedestrian Scale The scale of building elements, especially at the ground floor level should be kept intimate and close to human scale using relatively small parts and accents. New infill commercial structures shall be designed to provide storefront windows, doors, entries, transoms, canopies, balconies, and other architectural features designed to complement existing structures.



Construct buildings at a human scale



Encourage balconies, windows, and similar features

Avoid Large Flat Walls Large undifferentiated wall planes are strongly discouraged. Buildings should be designed to avoid a “box-like” appearance. Significant horizontal and vertical wall articulation is required in order to reduce the apparent mass of a building. This should be expressed through variation of the roof eaveline or roof structure, changes in the wall plane, recessed windows and entries, full roofs with overhangs, second floor setbacks, covered arcades, and similar elements consistent with the architectural theme of the building.



Avoid blank, flat walls

Architectural Elements Architectural elements such as roof forms, pilasters, columns, balconies, window details, and building façade articulation should be effectively used to maintain an historic character. Architectural design elements should be incorporated on all building facades, not just the main entry façade.



Attention to detail is important

There are a number of details, often thought of as mundane, which may be incorporated into the design to add a degree of visual richness and interest while meeting functional needs. Such details include the following items:



- ❖ Light fixtures, wall mounted or hung with decorative metal brackets
- ❖ Iron grillework or woodwork, at vent openings or as decorative features at windows, doorways, or gates
- ❖ Decorate scuppers, catches, and downspouts
- ❖ Balconies, rails, finials, corbels, plaques, etc.



Incorporate balconies and other architectural details

Building Height The use of large false parapets and high ceilings to make buildings look over scaled should be avoided unless deemed essential to the building's architectural design. These elements and others detract from a building's ability to achieve an appropriate relation to the pedestrian scale desired.

An infill building should not be much lower or higher than the height of surrounding structures. Historic commercial buildings are generally one to two stories tall (see Figure 4.1). Rooflines of infill development may vary in height, but the general height of the existing facades should be maintained (18-20 feet range as a minimum height; 35 as a maximum height).

Decorative elements consistent with the architectural style are encouraged

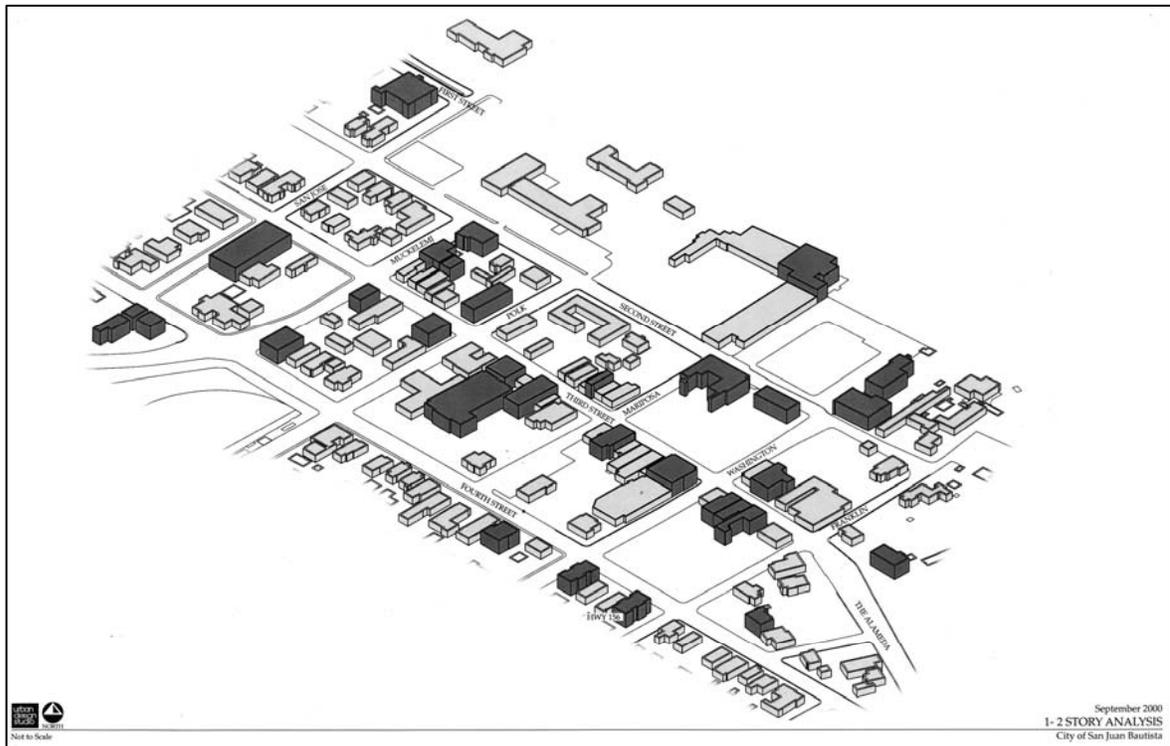
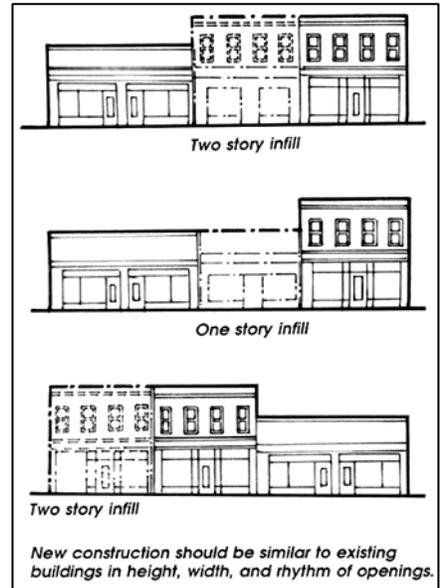


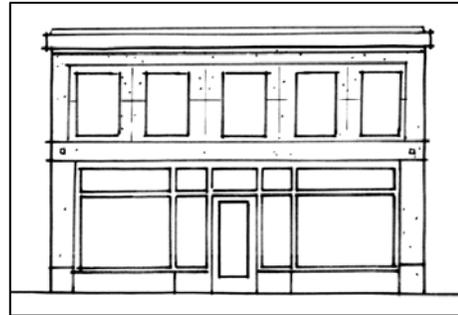
Figure 4.1 One and Two Story Analysis in Historic District (darker color = 2 stories)

Rooflines The design of a structure's roof strongly influences its image as a quality, permanent structure. Structures with *full-pitched roofs* project a more small town and historic image and reinforce the desired pedestrian orientation for San Juan Bautista.

Where *flat roofs* are used, there should be a screening parapet with a decorative coping or cornice. Roof equipment should be completely screened to a height equal to or higher than the height of the equipment. Screening elements should be an integral part of the roof design and should not appear as a “tacked-on” afterthought. For flat roofs, a screen enclosure behind the parapet wall may be used if it is constructed to appear as an integral part of the structure’s design. Ground and interior-mounted equipment (with appropriate wall or landscape screening) is encouraged as an alternative to roof-mounted equipment.

4.4 Proportion

Solid to Void The proportion of solid (wall) to void (doors, windows) should be approximately 60 percent solid to 40 percent void for walls abutting pedestrian activity areas (e.g. sidewalks, courtyards, etc.). In non-pedestrian areas, a higher proportion of wall is acceptable provided that large flat walls are avoided through appropriate wall articulation and fenestration.



Allow greater window area at storefront level for pedestrians

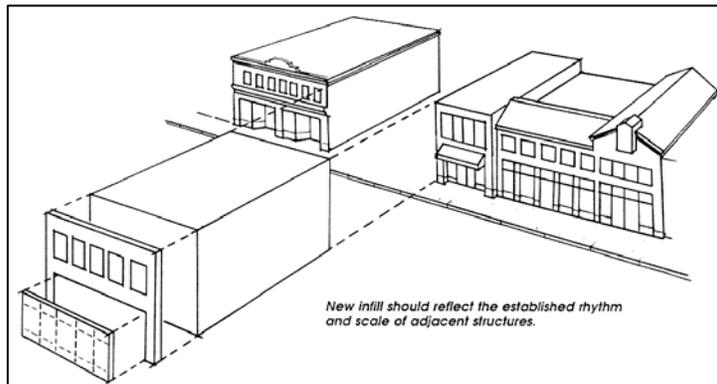
The predominant difference between upper story openings and street level storefront openings (windows and doors) should be maintained. Typically, there is a much greater window area at the storefront level for pedestrians to have a better view of the merchandise displayed behind as opposed to upper stories which have smaller window openings.

Thickness of Walls The thickness of walls should be revealed at door and window openings, and depending on the architectural style of the building, in archways and arcades.



Thickness of walls revealed

Façade Proportion The characteristic proportion (relationship of height to width) of existing facades should be respected in new infill development. Whenever an infill building is proposed between two adjacent commercial



structures, the characteristic rhythm, proportion and spacing of existing door and window openings should be maintained. When infilling between a one and two story building, ideally the new structure should be “stepped”.

Horizontal Rhythms/Alignment of Architectural Element

Whenever an infill building or any building additions/remodeling are proposed, the common horizontal elements (e.g. window height/width and spacing) among neighboring structures should be identified and the project design should use a similar rhythm and alignment. If maintaining a consistent horizontal rhythm or alignment is difficult or otherwise impossible, the use of colonnades are encouraged to establish a shared horizontal storefront rhythm.



Window placement helps create a consistent horizontal rhythm

4.5 Design Consistency

Historic Influence Building designs that draw from San Juan Bautista’s history establishes a sense of timelessness and helps relate buildings to one another in scale and proportion. “Canned” or trademark building designs (e.g. fast food restaurant chains) and urban contemporary design themes are out of context with this approach and are not acceptable. Infill building on Third Street and within the Historic District should ideally reflect the architecture and style of the structure originally on that site. Refer to Chapter 3.0 for a discussion on architectural styles.



360 Degree Architecture Building designs should demonstrate a compatible use of colors, materials, and detailing throughout all elevations of the building. Elevations that do not directly face a street should not be ignored, nor should they receive only minimal architectural treatment. Full, “360-degree” architectural treatment should be provided on all building facades.

Materials Architectural materials will vary throughout the community dependent upon the architectural style. Materials used, including those for building, roofing, and design elements, should adhere to the basic character defining features and historical correctness of the selected vernacular style, as described in Chapter 3.0. The use of quality materials is a priority.

Avoid Gimmicks Architectural gimmicks shall be avoided. The designer shall avoid the use of visual contrast from neighboring structures as an advertising tool or attention-getter.

4.6 Building Color

Color can be a complex and sensitive subject in design guidelines. Color choice has a particularly personal dimension; it is an expression of the building owner, and the businesses located within. If some basic color guidelines are kept in mind, color can add to the richness and variety of San Juan Bautista, all the while respecting the traditions and heritage of the community.

Historic Precedents Historically, certain color palettes were associated with particular architectural styles so, often the architectural style itself may dictate appropriate colors of a structure (refer to Chapter 3.0). Whenever possible, exterior building colors should reflect the basic colors of the architectural style or period of the building. Historic color palettes based on research, old photographs, and historic records are strongly encouraged. The Sherwin-Williams Preservation Palette or similar paint manufacturer pamphlets can also be consulted for information on historic color schemes.

General Guidelines The following guidelines should be used in evaluating exterior building colors, bearing in mind that there are always exceptions to generalizations.

- ❖ Building color in established areas should be compatible and blend with surrounding buildings. The color should not be a “sign” or imply that the building is trying to attract attention. Color should not, because of its intensity, distinctness, chroma, or reflectivity, become the most dominant feature of a building site.
- ❖ “Compatible colors” does not mean that adjacent color schemes should be duplicated.
- ❖ The colors of all elements of a development including walls, accessory structures, fences, and signs should be compatible.
- ❖ Combinations of colors or tones on a single building or site which clash or create a discordant effect should be avoided.
- ❖ A building should be treated as consistently as possible. Exterior colors should be coordinated on all elevations and compatible with exposed materials, architectural style, and detailing.
- ❖ Color should not extend beyond the common building line and paint should not be used to obscure the integrity of natural building materials.

Influence of Climate Color plans showing the location of all colors on the building and color chips of actual paint colors should be provided to the Planning Department. Because the amount of sun can change the appearance of paint color, paint chips should be checked on both sunny and cloudy days.